

# LONDON BOROUGH OF ENFIELD

## PLANNING COMMITTEE

**Date :** 30th June 2015

**Report of**

Assistant Director, Planning,  
Highways & Transportation

**Contact Officer:**

Andy Higham 020 8379 3848  
Sharon Davidson 020 8379 3841  
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**Ward:**

Grange

**Ref:** 14/04027/HOU

**Category:** Householder

**LOCATION:** 27 Private Road, Enfield, EN1 2EH,

**PROPOSAL:** Conversion of garage into habitable room involving alterations to front elevation, single storey rear extension, front entrance porch and rear dormer involving raising of roof height to improve a disabled persons dwelling.

**Applicant Name & Address:**

Mr David Hall  
The Orangery  
The Square  
Carshalton  
Surrey  
SM5 3BN

**Agent Name & Address:**

Mr Craig Driver  
5 Cromwell Court  
St Peters Street  
Ipswich  
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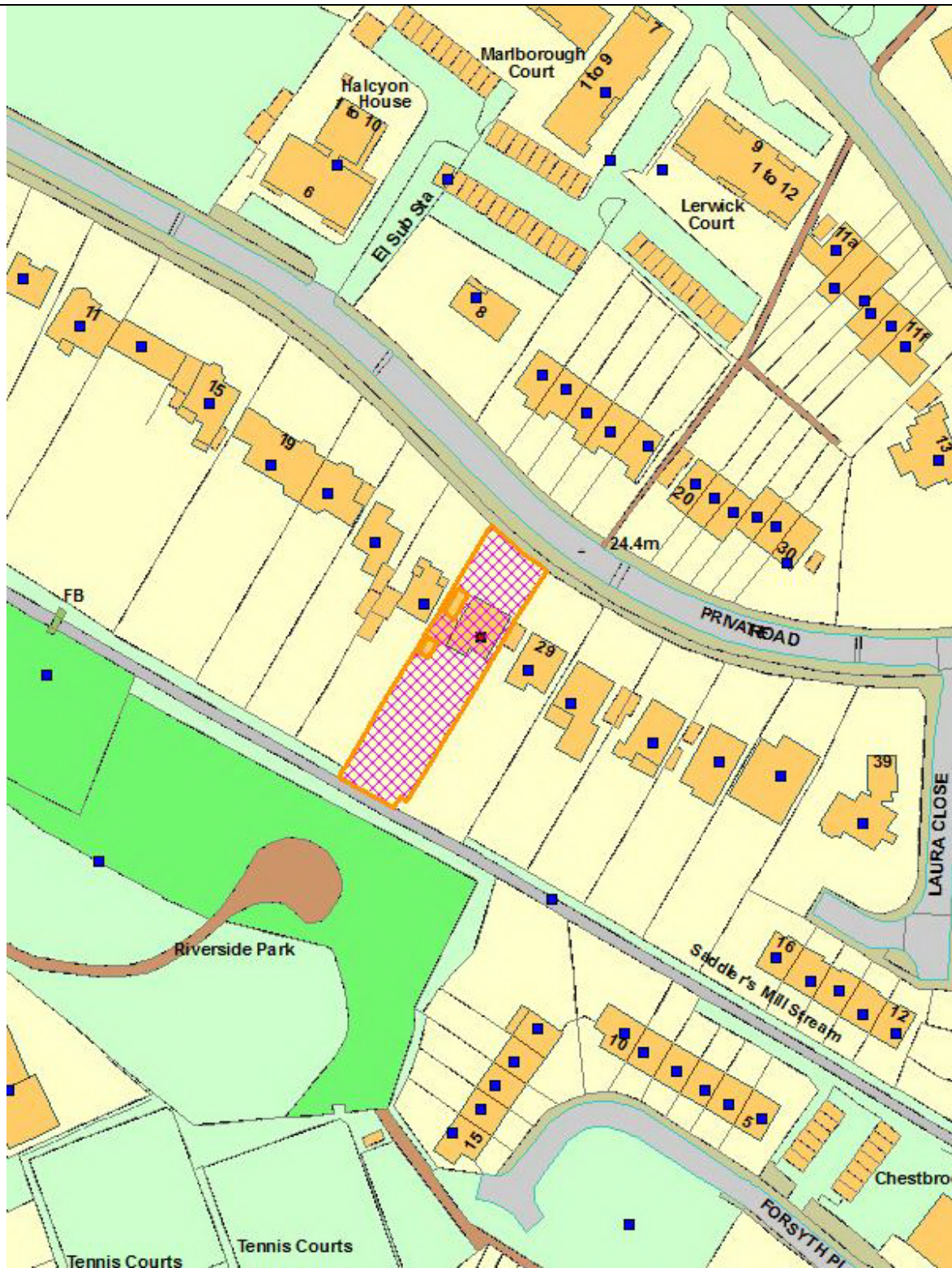
**RECOMMENDATION:**

That planning permission be **GRANTED** subject to conditions.

**Note for Members:**

Although an application of this nature would normally be determined under delegated authority, the application is reported to Planning Committee at the request Councillor Neville on grounds of overdevelopment of the site.

Ref: 14/04027/HOU LOCATION: 27 Private Road, Enfield, EN1 2EH,



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Scale 1:1250

North



## 1. Site and Surroundings

- 1.1 The site is located on the south side of Private Road between London Road and Village Road. The rear of the site abuts Riverside Park and Saddler's Mill Stream.
- 1.2 The site has a regular shape and is approximately 884m<sup>2</sup> in area (15m wide x 60m deep). It contains a brick and pebbledash render circa 1930 bungalow that has been developed with an attached garage and conservatory. The building's architectural features include machine made clay tile pitched roof with front slope to provide a shallow veranda, two exposed brick chimney stacks, four slim timber veranda posts with arched braces, and timber framed mullioned and transomed windows with small square lights. The 'random rubble' front boundary stone wall appears to be original. A large proportion of the forecourt and the rear garden have been paved.
- 1.3 The site and adjoining properties have a gentle slope from west to east.
- 1.4 The site is located within the Bush Hill Park Conservation Area and the bungalow is identified as a neutral building with most of its original features intact within the Character Appraisal (page 19 and 29).
- 1.5 The key characteristics of Private Road as identified in the Character Appraisal can be summarised as:
  - *The informal, originally private street layout and the abundance of greenery which are defining characteristics of the area and key contributors to the semi-rural feel.*
  - *The large plot sizes and the setback building line which create a feeling of spaciousness.*
  - *Several attractive buildings of architectural interest. No. 9, 19 and 21 are prominent in the street scene whereas others are glimpsed through greenery and contribute to the character of the area in that they form the last remaining evidence of the large houses hidden in generous grounds that originally lined the road.*
  - *While many structures are not of interest in themselves their modest bulk and mass, and their large front gardens make a strong contribution to the semi-rural feel (paragraph 2.6.8).*
- 1.6 To the east, are five circa 1930 bungalows that have been developed with various alterations and additions including but not limited to:
  - UPVC windows.
  - Demolition of the chimney stacks.
  - Fluted classical veranda posts.
  - Front porch extension.
  - Single-storey side and rear extensions.
  - Two-storey rear extension.
  - Roof extensions to provide accommodation within the roof spaces.
  - Front and side dormers.
  - Rooflights.
  - Solar panels.
  - Hardstanding within the forecourts.(See aerial photo at the end of this report)

1.7 To the west, No. 25 contains a circa 1950 two-storey dwelling with a brown brick exterior and tiled complex pitched roof.

## **2. Proposal**

2.1 The application seeks planning permission for part demolition, alterations and additions to the existing bungalow including single-storey side extension, single-storey rear extension, new pitched roof to provide accommodation within the roof space involving raising the ridges to a 40 degree pitch, side and rear dormers and rooflights, alterations to the fenestration, widen the exiting crossover, and new hardstanding within the forecourt.

2.2 The proposed development is required to accommodate a family with a young person who has complex disabilities and is unable to move independently. The agent has submitted further information of the young person's special needs including a supporting letter from the Occupational Therapist, an explanation of the need for wider doors and halls, circulation spaces and room sizes, and the need for a therapy room, carer's room and mobility equipment within the home.

2.3 Since the original submission the application has been the subject of some revisions . The revised scheme as shown on the plans received 30/3/2015 can be summarised as follows:

- Demolition of the existing garage and conservatory.
- Demolition of the existing pitched roof and front veranda.
- Demolition of the existing chimney adjoining the west boundary.
- 4.4m wide single-storey side extension in place of the existing garage and conservatory adjoining the west boundary.
- Single-storey rear extension 7.6m deep adjoining the east boundary (No. 29) and 5.5m deep adjoining the west boundary (No. 25).
- New pitched roof to provide accommodation within the roof space involving raising the principal and secondary ridges to a 40 degree pitch, side and rear dormers and rooflights. The principal ridge would increase in height from 5.8m to 6.5m and the secondary ridge would increase in height from 4.1m to 4.8m.
- Alterations to the fenestration to provide an enlarged front door, and a new door and windows on the east elevation.
- Enlarge the existing crossover to 3m wide.
- New hardstanding within the forecourt.

2.4 There is a discrepancy between the proposed side elevations (drawing no. 07/1 and 07/02) and the perspective of the proposed rear elevation (no drawing reference). The rear dormer should have a flat roof to match the side dormer; not a pitched roof.

2.5 The proposed site plan (drawing no. 3605A-03) includes an outline of a 'proposed future outbuilding' and a 'proposed future garden room'. No further details have been provided. These buildings do not form part of the current application and the applicant is advised that they would need to submit a separate application for these buildings.

2.6 It is noted that the plans were amended several times during the course of the application to:

- Retain the existing chimney adjoining the east boundary.
- Delete the proposed gable feature above the front door.
- Reduce the proposed roof pitch and the overall height of the building.
- Delete the proposed side dormer on the east elevation.
- Delete 2 of the 4 proposed rooflights on the east elevation.
- Reposition the proposed rooflight nearest the front of the pitched roof on the west elevation.
- Replace the proposed dome rooflights on the flat roof with heritage profile rooflights.
- Replace the proposed gable end at the rear of the new pitched roof with a hip end and a rear dormer.
- Reduce the proposed hardstanding within the forecourt and increase the front garden.

### **3. Relevant Planning History**

#### **3.1 Subject site**

- TP/84/1109: garage approved 11/9/1984.

#### **3.2 No. 25 (two-storey dwelling)**

- TP/75/1528: single-storey extension approved 14/1/1976.
- TP/03/1083: part single-storey, part two-storey side and rear extensions refused 18/7/2003.
- TP/03/1799: part single-storey, part two-storey side and rear extensions approved (revised scheme) 16/12/2003.

#### **3.3 No. 29 (bungalow)**

No planning history.

#### **3.4 No. 31 (bungalow)**

- TP/05/0170: formation of pitched roof at rear approved 23/2/2005.
- TP/09/0348: reposition vehicle access, erect front boundary wall and side fencing approved 20/5/2009.
- TP/09/0348/DP1: details submitted pursuant to TP/09/0348 approved 17/7/2009.

#### **3.5 No. 33 (bungalow)**

- TP/83/0169: extensions approved 19/4/1983.
- TP/93/1113: construction of hip roof over existing single-storey rear extensions approved 14/1/1994.
- TP/96/0160: increase height of existing garage approved 23/5/1996.
- TP/07/1414: single-storey side and rear extension, roof extension to provide first floor involving raising roof, two front dormers and one rear dormer with balcony refused 1/10/2007.
- TP/07/2349: single-storey side and rear extension, roof extension to provide first floor involving raising roof, two front dormers and one rear dormer with balcony (revised scheme) approved 12/5/2008.

- TP/08/2102: single-storey side and rear extension, roof extension to provide first floor involving raising roof, front, side and rear dormers incorporating rear balcony and chimney alterations approved 6/2/2009.
- TP/09/0871: replacement boundary wall to front and side, widen driveway and resurface frontage approved 5/8/2009.

### 3.6 No. 35 (bungalow)

- LDC/93/0025: formation of rooms in roof involving roof extension and velux windows refused 5/3/1993.
- LDC/93/0064: formation of rooms in roof involving roof extension and velux windows (revised scheme) approved 28/4/1993.
- TP/98/1213: gable roof over rear extension and reconstruction of rear conservatory approved 20/10/1998.
- TP/06/0302: demolition of garage and erection of a part single-storey, part two-storey side extension involving rooms in roof with front and rear dormers and gable end refused 30/3/2006.
- TP/06/0979: single-storey side extension incorporating accommodation in roof with front and rear dormers approved 17/7/2006.
- CAC/06/0005: demolition of garage and shed in association with planning permission reference TP/06/0979 approved 17/7/2006.

### 3.7 No. 37 (bungalow)

- TP/83/0169: extensions approved 19/4/1983.

## 4. Consultations

### 4.1 Statutory and non-statutory consultees

#### Conservation Officer

##### *Background*

- 4.1.1 The site contains a brick and pebbledash render 1930s bungalow featuring pitched roof and front veranda with machine made clay tiles. The exposed brick chimney stacks form an important part of the original architectural composition. The building is setback from the road behind an original 'random rubble' stone wall and front garden. The driveway is paved with York Stone and there is a slight step and change in levels between the driveway and the front garden.
- 4.1.2 No. 27 is located within the Bush Hill Park Conservation Area and is identified as an unremarkable building within the Character Appraisal – a fairly typical 1930s bungalow of little architectural or historic significance. However, arguably, its character derives from its modest size and massing, in addition to its setback building line which contributes to the semi-rural feel of the area. The building is also noted as retaining most of its original features.
- 4.1.3 No. 27 forms the end of a row of similar bungalows, most of which feature various alterations and additions. The most complete example is No. 29 which retains its original roof form and veranda joinery but has replacement UPVC windows to the front façade. Most of the bungalows have sustained alterations.

- 4.1.4 Private Road has a gentle slope that rises from east to west and complements the gentle curve of the road. The relatively flat terrain, curved road, recessed building line and greenery mean that the area has no significant focal points or views.
- 4.1.5 In the vicinity are No. 8 Private Road and No. 13 Village Road both of which are Grade II Listed. The rear of the site abuts Riverside Park and Saddler's Mill Stream.

*Impact on the Conservation Area*

- 4.1.6 The Conservation Officer notes that the original application has been amended to include a reduction in the roof pitch to 40 degrees and amendments to the number and position of rooflights on the principal ridge. Although an increase in scale is proposed, the revised scheme is in keeping with the surrounding Conservation Area and the proposed increase in height, bulk and mass would not appear overly dominant and/or an alien within the street scene. The proposed extensions would be concentrated to the rear of the building, thus minimising the impact on the surrounding Conservation Area.
- 4.1.7 Original concerns regarding loss of the chimneys has been addressed by retention of the chimney adjoining the east boundary albeit ideally, both chimneys would be retained.
- 4.1.8 She has confirmed that she would oppose the use of UPVC doors and windows as they would detract from the character and appearance of the Conservation Area. She would recommend the use of high quality materials in keeping with the age and style of the existing bungalow.

*Summary*

- 4.1.9 There are no further objections to the proposal. The revised scheme would have minimal impact on the surrounding Conservation Area and the extensions to the rear of the building would have limited impact on the neighbouring buildings.

Bush Hill Park Conservation Area Study Group

*Response to the original application*

- 4.1.10 The site forms part of a row of fairly unremarkable but generally similar bungalows that line the street to the east.
- 4.1.11 The Character Appraisal states that "while many structures are not of interest in themselves their modest bulk and mass, and their large front gardens make a strong contribution to the semi-rural feel of the area" (paragraph 2.6.8).
- 4.1.12 The proposed ground floor footprint is some 60% larger than the original footprint, an additional floor is being created, and the roofline is being raised. This is a significant increase in bulk and mass. The proposed development would destroy any similarity with the bungalows to the east. The proposed side elevations are ugly and would be visible from the public domain; the rear elevation would be largely unseen.

- 4.1.13 Notwithstanding the applicant's social need, the proposed development cannot be seen as conserving or enhancing the Conservation Area. The Study Group object and urge that the application be refused.

#### Conservation Advisory Group

##### *Response to original application*

- 4.1.14 The Conservation Advisory Group (CAG) supports the Bush Hill Park Conservation Area Study Group's (BHPCASG) objection and concerns namely overdevelopment, raised roof and side extensions. It is noted that there is a social issue associated with the application, but this does not override the need for a design more sympathetic to the original bungalow.

##### *Response to the revised scheme*

- 4.1.15 The amended plans are an improvement to the original scheme. The east elevation has been simplified and rooflights have been removed. The dome rooflights on the flat roof have been removed. The roof pitch has been lowered. However, in general terms, the increased massing remains. On balance, the CAG accept the amended plans and do not object.

#### English Heritage

- 4.1.16 The site is located within the Ermine Street Archaeological Priority Area connected with the Roman settlement close to Leighton Road which has been investigated by the Enfield Archaeological Society over several decades during householder developments. It is recommended that the following condition and informative be included as part of any planning permission with the intention that the necessary work be undertaken by the Enfield Archaeological Society, monitored by this office.

##### *Condition*

The developer shall notify the Greater London Archaeology Advisory Service of the start of groundworks no less than two weeks before commencement and permit access at any reasonable time to the Enfield Archaeological Society to monitor development and record features of interest.

##### *Informative*

The applicant is advised that finds of archaeological interest may be made on site relating to the Roman occupation of the Leighton Road area. The applicant should contact the Greater London Archaeological Advisory Service and the Enfield Archaeological Society in advance of development in order to secure compliance with this condition. The Society can be contacted via Dr Martin Dearne, Enfield Archaeological Society, c/o 9 Junction Road, London N9 7JS. The Greater London Archaeological Advisory Service can be contacted on 020 7973 3732.

#### Environmental Agency



4.1.17 The site is within a Flood Zone 1, is less than 1 hectare and the proposed development is not within 20m of a main river. The Environmental Agency did not need to be consulted on this application.

## **4.2 Public response**

### **4.2.1 Original Application**

Four neighbours were notified of the original application and a notice was displayed on site. Three objections were received which raised the following concerns:

- Overdevelopment of the original bungalow; from a 3-bed single-storey dwelling to a 7-bed two-storey dwelling (including carer's room).
- The proposed height, bulk and mass would be overly dominant and incongruous with the bungalows to the east.
- The new hardstanding within the forecourt would detract from the street scene and the wider Conservation Area.
- Loss of the existing chimneys.
- Poor architectural design.
- The proposed development would fail to conserve and enhance the character and appearance of the host building, the street scene and the wider Conservation Area.
- Poor quality of accommodation.
- Loss of privacy, light and outlook.
- General noise and disturbance from increased traffic movements.
- Damage to the adjoining properties during demolition and construction works.

### **4.2.2 Revised Scheme**

Following reconsultation on the revised plans 3 further letters of objection were received which raised the following concerns:

- Overdevelopment of the original bungalow.
- The proposed height, bulk and mass would be overly dominant and incongruous with the bungalows to the east.
- The proposed development would fail to conserve and enhance the character and appearance of the host building, the street scene and the wider Conservation Area.
- The visual impact on the street scene is considered acceptable with the exception of the proposed ridge. There is no need to raise the ridge. The adjoining bungalows have been developed with loft conversions and have not raised their roofs.
- Loss of privacy, light and outlook.
- The proposed development would have an overbearing impact on the neighbouring properties.

## **5. Relevant Policies**

### **5.1 London Plan**

Policy 3.8	Housing choice
Policy 3.9	Mixed and balanced communities

Policy 3.14	Existing housing
Policy 6.9	Cycling
Policy 6.13	Parking
Policy 7.1	Building London's neighbourhoods and communities
Policy 7.4	Local character
Policy 7.6	Architecture
Policy 7.8	Heritage assets and archaeology

## 5.2 Core Strategy

Policy 4	Housing quality
Policy 24	The road network
Policy 25	Pedestrians and cyclists
Policy 30	Maintaining and improving the quality of the built and open environment
Policy 31	Built and landscape heritage

## 5.3 Development Management Document

Policy 6	Residential character
Policy 9	Amenity space
Policy 11	Rear extensions
Policy 13	Roof extensions
Policy 14	Side extensions
Policy 37	Achieving high quality and design-led development
Policy 38	Design process
Policy 44	Preserving and enhancing heritage assets
Policy 45	Parking standards and layout
Policy 46	Vehicle crossovers and dropped kerbs
Policy 81	Landscaping

## 5.4 Other Relevant Policy Considerations

National Planning Policy Framework  
National Planning Policy Guidance  
Enfield Characterisation Study  
Bush Hill Park Conservation Area Character Appraisal

## 6. **Analysis**

6.1 The adopted policies encourage the maintenance and enhancement of existing housing stock. However, proposals must also be assessed in relation to material considerations such as impact on the Conservation Area and impact on the neighbours' amenity.

### 6.2 Impact on the Conservation Area

*Statutory / Policy background*

6.2.1 Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 ("Listed Buildings Act") confirms that "*special attention shall be paid to the desirability of preserving or enhancing the character or appearance of that area.*" Case law has established that where an authority finds that a development proposal would harm the setting of a listed building or the character and appearance of a conservation area, it must give that harm

“considerable importance and weight” (Barnwell Manor Wind Energy Ltd v East Northamptonshire District Council [2014] EWCA Civ 137).

6.2.2 Section 12 of the National Planning Policy Framework states that:

*132. When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset’s conservation. The more important the asset, the greater the weight should be. Significance can be harmed or lost through alteration or destruction of the asset or development within its setting. As heritage assets are irreplaceable, any harm or loss should require clear and convincing justification.*

6.2.3 The introduction to the Character Appraisal states that:

*Conservation areas are areas of ‘special architectural or historic interest, the character or appearance of which it is desirable to preserve or enhance’... Designation imposes a duty on the Council, in exercising its planning powers, to pay special attention to the desirability of preserving or enhancing the character or appearance of the area. In fulfilling this duty, the Council does not seek to stop all development, but to manage change in a sensitive way, to ensure that those qualities, which warranted designation, are sustained and reinforced rather than eroded (page 6).*

6.2.4 Policy 7.8 of the London Plan encourages:

- C Development should identify, value, conserve, restore, re-use and incorporate heritage assets, where appropriate.*
- D Development affecting heritage assets and their settings should conserve their significance, by being sympathetic to their form, scale, materials and architectural detail.*

6.2.5 The National Planning Policy Framework (NPPF) defines a ‘heritage asset’ and ‘the setting of a heritage asset’ as:

*Heritage asset: a building, monument, site, place, area or landscape identified as having a degree of significance meriting consideration in planning decisions, because of its heritage interest. Heritage asset includes designated heritage assets and assets identified by the local planning authority (including local listing).*

*Setting of a heritage asset: the surroundings in which a heritage asset is experienced. Its extent is not fixed and may change as the asset and its surroundings evolve. Elements of a setting may make a positive or negative contribution to the significance of an asset, may affect the ability to appreciate that significance or may be neutral (page 52 and 56).*

6.2.6 Policy 31 of the Core Strategy seeks to ensure that:

*Built development and interventions in the public realm that impact on heritage assets have regard to their special character and are based on an understanding of their context. Proposals within or affecting the setting of heritage assets will be required to include a thorough site analysis which*

*explicitly demonstrates how the proposal will respect and enhance the asset.*

6.2.7 DMD 44 states that:

*Applications for development which fail to conserve and enhance the special interest, significance or setting of a heritage asset will normally be refused.*

*Development affecting heritage assets or their setting should seek to complement the asset in all aspects of its design, detailing and materials.*

*Site and surrounds*

6.2.8 The site is located within the Bush Hill Park Conservation Area. As previously discussed in paragraph 1.4 of this report, the key characteristics of Private Road as identified in the Character Appraisal can be summarised as:

- *The informal, originally private street layout and the abundance of greenery which are defining characteristics of the area and key contributors to the semi-rural feel.*
- *The large plot sizes and the setback building line which create a feeling of spaciousness.*
- *Several attractive buildings of architectural interest. No. 9, 19 and 21 are prominent in the street scene whereas others are glimpsed through greenery and contribute to the character of the area in that they form the last remaining evidence of the large houses hidden in generous grounds that originally lined the road.*
- *While many structures are not of interest in themselves their modest bulk and mass, and their large front gardens make a strong contribution to the semi-rural feel (paragraph 2.6.8).*

6.2.9 The existing bungalow is identified as a neutral building within the Character Appraisal with most of its original features intact (page 19 and 29). It has a machine made clay tile pitched roof with front slope to provide a shallow veranda, two exposed brick chimney stacks, four slim timber veranda posts with arched braces, and timber framed mullioned and transomed windows with small square lights. The 'random rubble' front boundary stone wall appears to be original. A large proportion of the forecourt and the rear garden have been paved.

6.2.10 The bungalows to the east (No. 29 – 37), have a number of inappropriate and unsympathetic alterations and additions that detract from their overall character and appearance. The cumulative impact erodes from the heritage significance and special interest of the Conservation Area. However, many were approved prior to the Character Appraisal which was first adopted 2006, the Article 4 Direction which was made 2006, and the Development Management Document which was adopted 2014. It is also noted that there is no planning history for some of the works which appear to have been carried out without planning permission. It is therefore considered that they do not set a precedent for the proposed development, but must be acknowledged as forming part of the street scene and the immediate context.

*Assessment*

- 6.2.11 The applicant has completed a formal pre-application request and engaged Hoopers Architects and Bob Kindred Heritage Consultants to prepare the full application. The agent has submitted a Design & Access Statement and a Heritage Statement which provide a thorough site analysis and demonstrate how they believe the proposal would not harm the host building, the street scene and the wider Conservation Area.
- 6.2.12 As previously discussed in paragraph 2.4 of this report, the plans have been amended several times during the course of the application to address concerns regarding the impact on the Conservation Area and the impact on the neighbours' amenity. The agent and the applicant's heritage consultant met with council officers on a number of occasions to explain the design rationale, review the scheme, and provide further information regarding the applicant's special needs.
- 6.2.13 It is considered that the revised scheme would not harm the host building, the street scene and the wider Conservation Area. The revised scheme has been sensitively designed to enhance the original bungalow and be sympathetic in all aspects of siting, scale, form and design.
- 6.2.14 The single-storey side extension would replace the existing attached garage and conservatory; it would not increase the width of the building. It would have a bay window to match the existing fenestration on the front façade and the new veranda would extend the full width of the building.
- 6.2.15 As viewed from the front of the property, the new roof would have the same profile as the original bungalow and attached garage. The principal ridge would increase in height from 5.8m to 6.5m (from a 35° pitch to a 40° pitch). The secondary ridge would increase in height from 4.1m to 4.8m (from a 34° pitch to a 40° pitch). There would be no change to the eave height.
- 6.2.16 The new roof with increased ridge heights is considered acceptable. It would not be disproportionate to the original bungalow. The new roof would not disrupt the building heights within the street scene; it would provide an appropriate transition between the two-storey dwelling at No. 25 and the bungalow at No. 29 in keeping with the natural slope of the land.
- 6.2.17 Whilst the roof extension would be relatively deep, it would not disrupt the rhythm of the bungalows or have an overbearing impact on the street scene. The roof extension towards the rear of the building would be visible between No. 27 and No. 29 and further east from which it would be viewed in the context of the large trees at the rear of the property and the adjoining two-storey buildings (see photos 3 and 4 at the end of this report). The 40° pitch of the rear roof plane would match the 40° pitch of the front roof plane and reduce the perceived bulk and mass. The rear dormer with box form would be recessed and sit comfortably within the rear roof plane.
- 6.2.18 The side dormer with box form would be sited behind the secondary ridge. Whilst it would be approximately 0.4m higher than the secondary ridge, it would be largely concealed from the street scene having regard to the relatively modest projection and the narrow spacing between No. 25 and 27.
- 6.2.19 Demolition of the existing chimney adjoining the west boundary is considered acceptable. It is sited behind the secondary ridge and is largely concealed from the street scene having regard to the line of sight and the narrow

spacing between No. 25 and 27. The existing chimney adjoining the east boundary is the more prominent chimney and would be retained. It is recommended that a demolition plan and demolition method statement be required by condition to ensure that the retained chimney is not compromised during demolition and construction works.

- 6.2.20 The heritage profile rooflights on the pitched and flat roofs are considered acceptable. The rooflights on each roof plane would not be excessive in number or irregular in size and position. The rooflights on the west elevation and the rear elevation would not be visible from the street scene.
- 6.2.21 The fenestration alterations including new front door and new door and windows on the east elevation are considered acceptable. They would complement the original bungalow in terms of their position and proportion. It is recommended that further information of the fenestration detailing and materials be required by condition. The existing mullioned and transomed windows with small square lights should be retained and the bay window to the single-storey side extension should match the existing. The front and side elevations should have timber framed fenestration. UPVC / aluminium framed fenestration is considered acceptable on the rear elevation.
- 6.2.22 The proposed works to widened crossover to 3m would have a negligible impact on the character and appearance of the property and the street scene.
- 6.2.23 The introduction of large driveways in front gardens is identified as a problem and pressure within the Character Appraisal (page 34). At present, a large proportion of the forecourt of No. 27 is paved, as are the forecourts of a number of surrounding properties (see aerial photo at the end of this report). The application seeks planning permission to level the forecourt and pave approximately 70%. Soft landscaping would be provided along the front and sides, and a garden would be provided in the northeast corner. The proposed hardstanding is considered acceptable having regard to the areas maintained for soft landscaping and the hardstanding within the street scene. It is recommended that details of levels, hardstanding, surface water drainage, and landscaping be required by condition.
- 6.2.24 For these reasons, it is considered that the revised scheme would not dominate or detract from the original bungalow. It would complement the original bungalow in all aspects of siting, scale, form and design. It would conserve and enhance the intact features including the roof and veranda profile, bay windows, eastern chimney and front boundary wall.
- 6.2.25 The proposed development would not harm the heritage significance or special interest of Private Road as identified in the Character Appraisal as it would maintain:
- The street layout and greenery.
  - The large plot size and setback building line.
  - The relatively modest bulk and mass as viewed from the street scene.
  - The front garden.

### 6.3 Impact to the neighbours' amenity

#### *Side extension*

- 6.3.1 The single-storey side extension would replace the existing attached garage and conservatory and would not have an undue impact on the neighbours' light or outlook (No. 25).

*Rear extension*

- 6.3.2 DMD 11 requires that single-storey rear extensions do not exceed 4m in depth for detached dwellings or a line of 45 degrees as taken from the mid-point of the nearest original ground floor window of the adjoining properties.
- 6.3.3 The single-storey rear extension would extend 7.6m deep from the original rear wall adjoining the east boundary (No. 29), but it would not exceed a line of 45 degrees as taken from the mid-point of the nearest original adjoining ground floor window having regard to the 5.5m distance between the buildings. It is therefore considered that the single-storey rear extension would not adversely affect the amenity of No. 29 by way of loss of light or outlook.
- 6.3.4 The objectors have raised concern regarding loss of light and outlook to the windows on the flank elevation of No. 29. Whilst it is acknowledged that there is a change in levels between No. 27 and 29, it is considered that the single-storey rear extension and new roof would not adversely affect the neighbours' amenity. There would be no change to the existing 5.5m distance between the buildings, no change to the existing eave height on the development site, and the new pitched roof would maintain the profile of the existing pitched roof which slopes away from No. 29.
- 6.3.5 The single-storey rear extension would extend 5.5m deep from the rear wall of the existing conservatory on the development site adjoining the west boundary (No. 25), and it would exceed a line of 45 degrees as taken from the mid-point of the nearest original adjoining ground floor window. However, it would not exceed a line of 45 degrees as taken from the mid-point of the nearest ground floor window of the adjoining extension and it would not extend beyond the farthest rear wall of the adjoining extension. For these reasons, it is considered that the single-storey rear extension would not adversely affect the amenity of No. 25 by way of loss of light or outlook and would secure a common alignment.
- 6.3.6 The adjoining garden land at No. 25 and 29 are south-facing; therefore there would be no unreasonable impact by way of overshadowing.
- 6.3.7 The objectors have raised concern regarding loss of privacy from the rear dormer and the rooflights on the sides of the principal ridge. The rear dormer would be recessed within the rear roof plane and the side rooflights would be positioned towards the front of the property. It is considered that the degree of overlooking would be similar to the conditions which many residents might reasonably expect in a suburban setting. It is noted that the side dormer would serve a stairwell and 3 side rooflights towards the rear of the building would serve a store, bathroom and ensuite which are non-habitable rooms.

6.4 Landscaping

- 6.4.1 DMD 81 encourages high quality landscaping that enhances the local environment, benefits biodiversity and helps reduce surface water run-off. Priority should be given to planting large trees, indigenous and other species

of high ecological value where situations allow. It is recommended that details of landscaping within the front and rear gardens be required by condition.

## 6.5 Community Infrastructure Levy

6.5.1 As of April 2010, legislation in the form of Community Infrastructure Levy (CIL) Regulations 2010 (as amended) came into force which allow 'charging authorities' in England and Wales to apportion a levy on net additional floorspace for certain types of qualifying development to enable the funding of a wide range of infrastructure that is needed as a result of development. Since April 2012, the Mayor of London has been charging CIL in Enfield at the rate of £20 per sqm. The Council is progressing its own CIL but this has not yet been adopted.

6.5.2 The proposed development is CIL liable.

Existing floor area: 131m<sup>2</sup>  
Proposed floor area: 307m<sup>2</sup>  
Net additional floor area: 176m<sup>2</sup>

6.5.3 The CIL calculation based on the current index figure is:  
(£20 x 176m<sup>2</sup> x 248/223) = £3,914.62

## 7. **Conclusion**

7.1 Having regard to the above assessment, it is considered that the revised scheme would not harm the heritage significance or special interest of the Conservation Area nor the amenities of the occupiers of adjoining properties.

## 8 **Recommendation**

8.1 That planning permission be GRANTED subject to the following conditions

1. Approved Plans Revised (C61)
2. Details of Materials (C07)
3. Details of Hard Surfacing (C09)
4. Details of Levels (C10)
5. Details of Access and Junction (C14)
6. Details of Enclosure (C11)
7. Private Vehicles Only (C15)
8. Details of Landscaping (C17)
9. Details of Refuse Storage and Recycling Facilities (C19)
10. No Additional Fenestration (C25)
11. Restriction of Use of Extension Roofs (C26)



12. Restriction of Use of Extension (C27)

13. SUDS1 (Non-standard)

The development shall not commence until details of surface drainage works have been submitted and approved in writing by the Local Planning Authority. The details shall be based on an assessment of the potential for disposing of surface water by means of a sustainable drainage system in accordance with the principles as set out in the Technical Guidance to the National Planning Policy Framework. The drainage system shall be installed/operational prior to the first occupation and a continuing management and maintenance plan put in place to ensure its continued function over the lifetime of the development. The development shall be carried out strictly in accordance with the details so approved and maintained as such thereafter.

Reason: To ensure the sustainable management of water, minimise flood risk and minimise discharge of surface water outside of the curtilage of the property.

14. SUDS 2 (Non-standard)

Surface water drainage works shall be carried out in accordance with details that have been submitted to and approved in writing by the Local Planning Authority before the development commences. Those details shall include a programme for implementing the works. Where, in the light of the assessment required by condition 13 ("SUDS 1") of this permission, the Local Planning Authority concludes that a SUDS scheme should be implemented, details of the works shall specify:

- i. a management and maintenance plan for the lifetime of the development, which shall include the arrangements for adoption by any public authority or statutory undertaker or any other arrangements to secure the operation of the scheme throughout its lifetime; and
- ii. the responsibilities of each party for implementation of the SUDS scheme, together with a timetable for that implementation.

Reason: To ensure implementation and adequate maintenance to prevent unacceptable risk of flooding from surface water run-off or create an unacceptable risk of flooding elsewhere.

15. Demolition Method Statement and Demolition Plan (Non-standard)

Prior to the commencement of demolition works, a fully detailed 'demolition plan' and 'demolition method statement' must be submitted to and approved in writing by the Local Planning Authority. The plan must clearly show in a red line all of the internal and external roof(s) and wall(s) to be removed as well as chimney(s), fenestration and any other architectural features. The statement must fully describe and clearly demonstrate that the demolition and construction methods to be used on site will ensure that the building fabric to be retained on the plan will be safeguarded during and after the demolition and construction works have occurred. The statement must detail the necessary protection

works required to retain individual wall(s) and chimney(s), and may need to include reference to staging of demolition.

Reason: To ensure that the building fabric to be retained is safeguarded during demolition and construction works having to the site's location within the Bush Hill Park Conservation Area.

- 16 The developer shall notify the Greater London Archaeology Advisory Service of the start of groundworks no less than two weeks before commencement and permit access at any reasonable time to the Enfield Archaeological Society to monitor development and record features of interest

Reason: To safeguard and record the archaeological interest of the site.

- 17 Time Limited Permission (C51)





Photo 1. 27 Private Road (front)



Photo 2. 27 Private Road (rear)



Photo 3. 27 Private Road (view from public footway between No. 27 and 29)



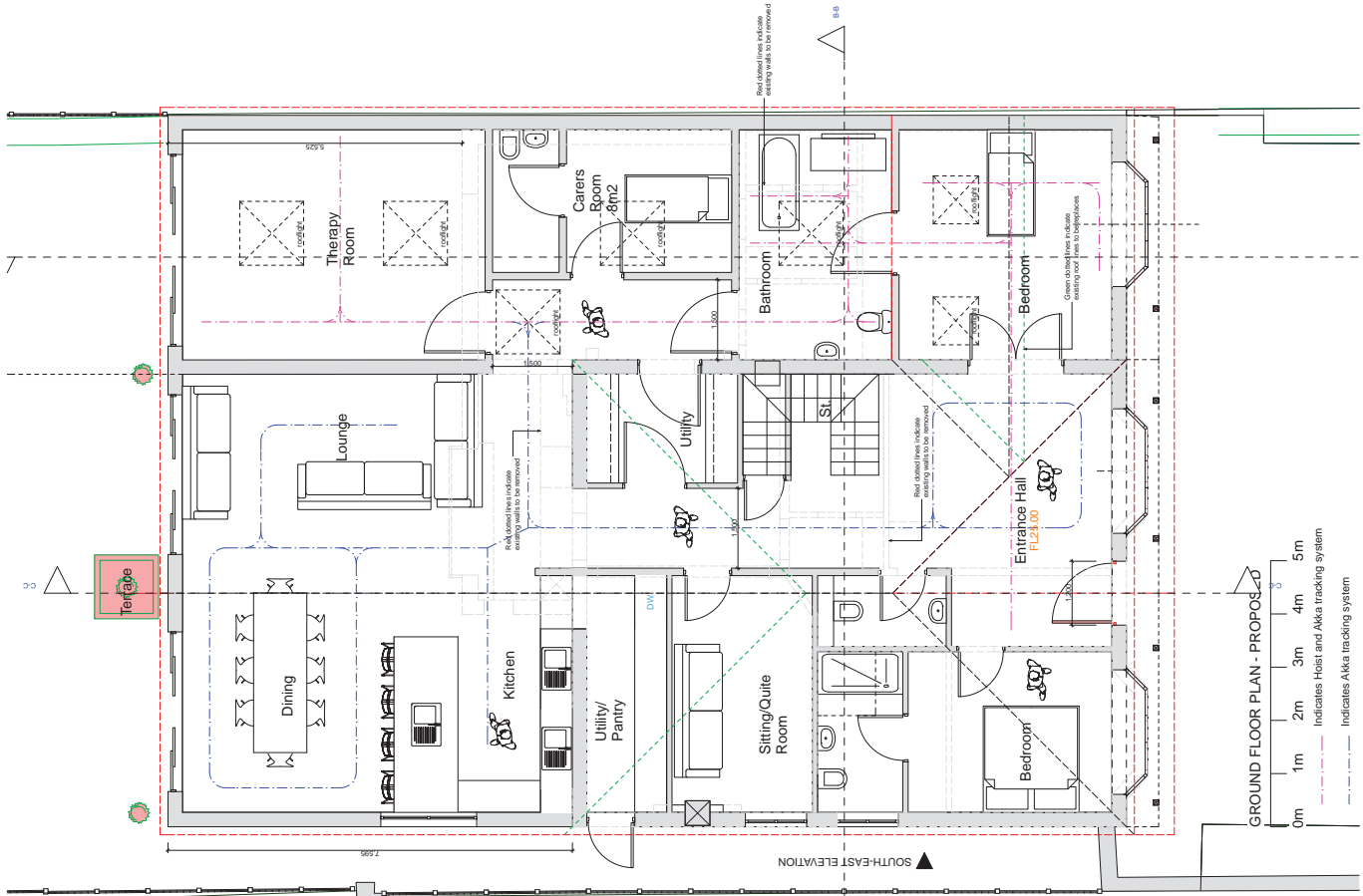
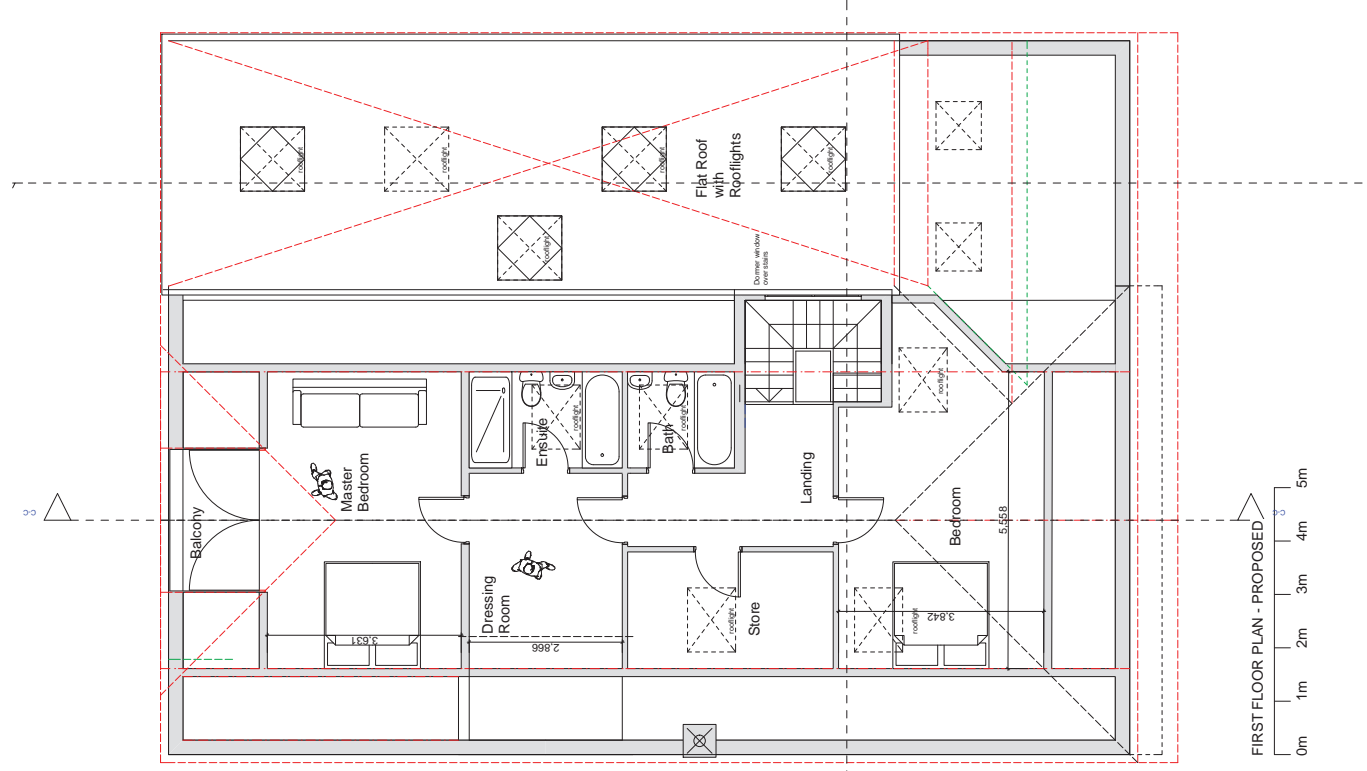
Photo 4. 27 Private Road (view from public footway to the east)



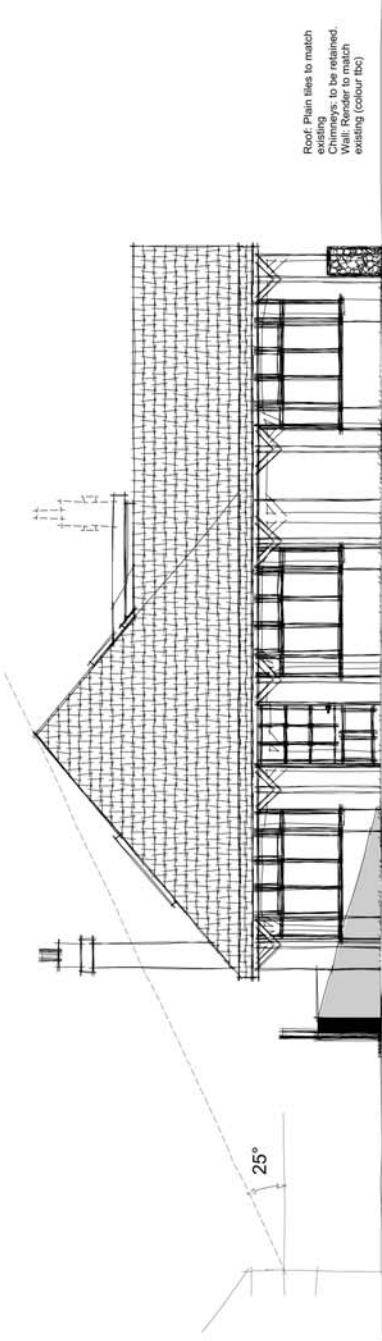
1. All drawings are the property of Hoopers and are not to be used for any other purpose without the written consent of Hoopers.
   
 2. All drawings are to be read in conjunction with the specification and the contract documents.
   
 3. All drawings are to be read in conjunction with the contract documents.
   
 4. All drawings are to be read in conjunction with the contract documents.
   
 5. All drawings are to be read in conjunction with the contract documents.
   
 6. All drawings are to be read in conjunction with the contract documents.
   
 7. All drawings are to be read in conjunction with the contract documents.
   
 8. All drawings are to be read in conjunction with the contract documents.
   
 9. All drawings are to be read in conjunction with the contract documents.
   
 10. All drawings are to be read in conjunction with the contract documents.

C.230015: Roof amendments for Planning, Trading and  
 B.230015: Roof plan amendments for Planning  
 A.161214: Floor plan amendments for Planning

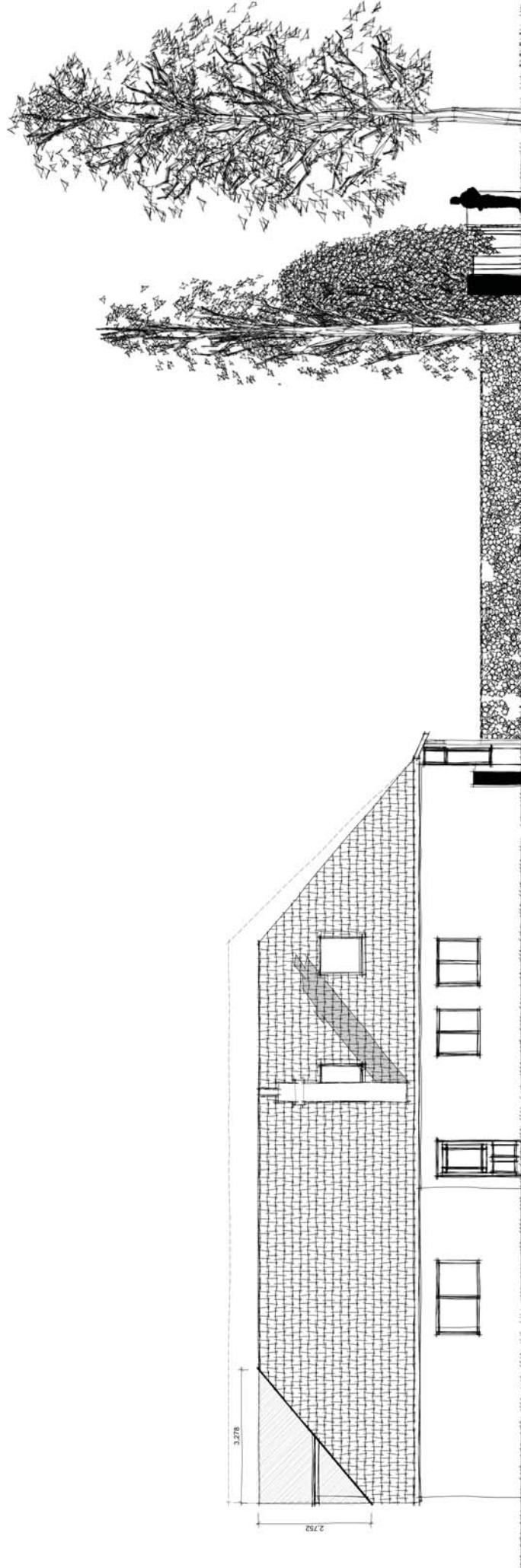
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Drawn		Plans as Proposed	
Date	Scale	Sheet	Of
1.5.20	1:1/4	36/25 C	24
Client		David Edward Hall/ Mairee Andrew/ Anthony Andrew	
Architect		Hoopers	
Contract		CD	
Discipline		PP	



GROUND FLOOR PLAN - PROPOSED  
 0m 1m 2m 3m 4m 5m  
 - - - - - Indicates Hoist and Aika tracking system  
 - - - - - Indicates Aika tracking system



Proposed North East Elevation



Proposed South East Elevation

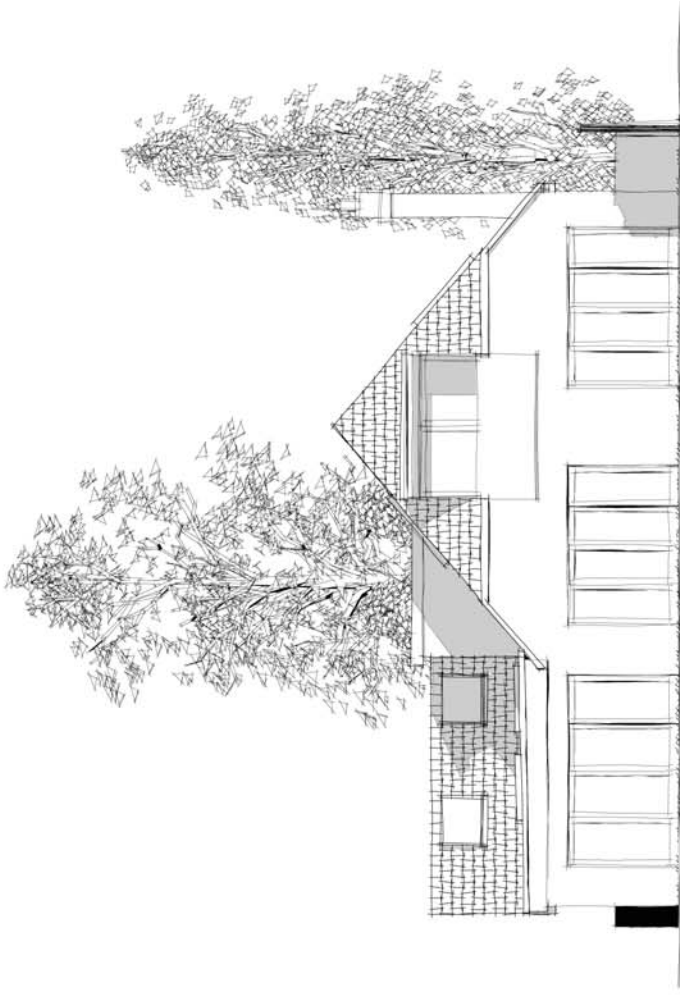
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Scale: 1:500 (A1)  
Client: David Edwards Hall /  
Marta Androsy  
Anthony Andrew

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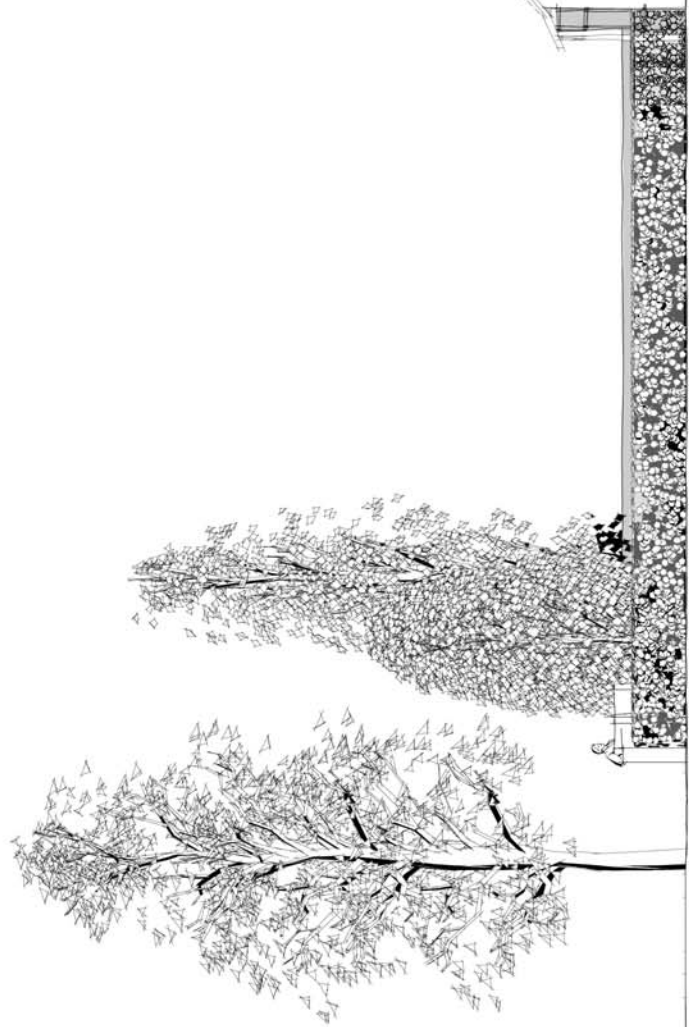
*Hoopers*



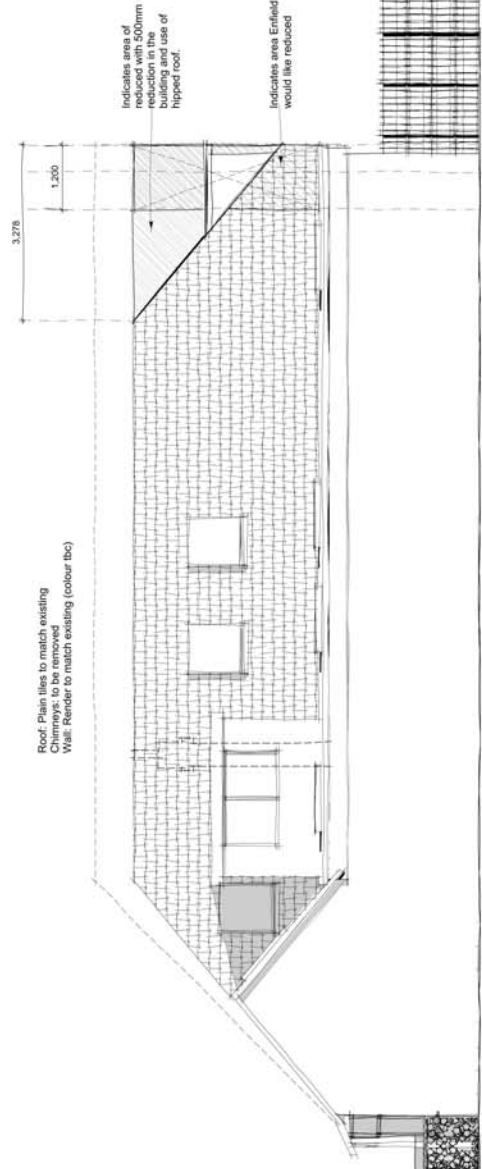


Proposed North West Elevation

Roof: Plain tiles to match existing  
 Chimneys: to be removed  
 Wall: Render to match existing (colour bc)



Proposed North East Elevation



Draw: 1/1/14  
 Scale: 1/50th A1  
 Client: David Edward Hall /  
 Maria Anderson  
 Anthony Andrew

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